

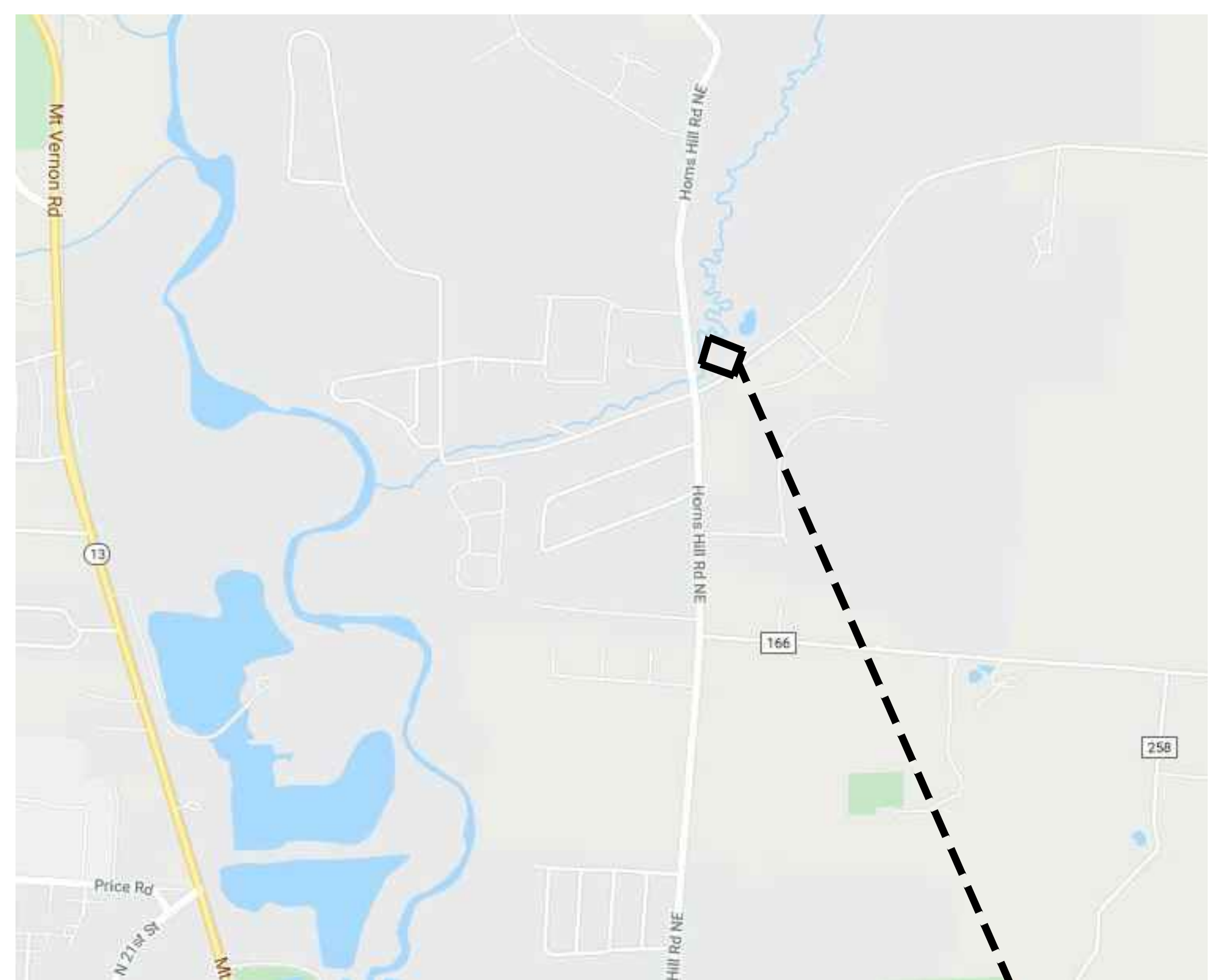
The View at The Springs Condominiums

Brent Dewey

JOB NO. 19143
August 7th 2020

2250 Horns Hill Road Northeast
Newark, Ohio 43055

BUILDING INFORMATION	
GOVERNING CODES: 2019 OBC	
<input checked="" type="checkbox"/> NEW BUILDING <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	
BUILDING WITHIN FLOOD HAZARD AREA <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
BUILDING DATA	NEW
USE GROUP	R
CONST. CLASS.	5B
OCCUPANCY LOAD	N/A
AREA DATA *SFs SHOWN ARE PER UNIT	
NEW	
BASEMENT FLOOR	1,545 SF
FIRST FLOOR	1,545 SF
GARAGE	570 SF
TOTAL FINISHED SPACE	3,090 SF
STRUCTURAL DATA	
SOIL BEARING	ASSUMED 1500 PSF
WIND LOAD	75 MPH SUSTAINED, 115 MPH GUSTS
SNOW LOAD	25 PSF
SEISMIC LOADS	CATEGORY B, 0.176-SDS-0.33G
FIRST FLOOR LOAD	D.L. N/A 10-PSF L.L. N/A 40-PSF
SECOND FLOOR LOAD	D.L. N/A N/A L.L. N/A N/A
THIRD FLOOR LOAD	D.L. N/A N/A L.L. N/A N/A
STAIR LOAD	D.L. N/A 10-PSF L.L. N/A 40-PSF
CONCENTRATED LOADS	
HANDRAILS	N/A 200-LBS
STAIR TREADS	N/A 40-PSF
IMPACT LOADS	N/A N/A
SPECIAL LOADS	N/A N/A
INDEX TO DRAWINGS	
SHEET NO.	DESCRIPTION
COVER	BUILDING INFORMATION, OWNER INFORMATION, VICINITY MAP, INDEX TO DRAWINGS
A1.1	UL INFORMATION
A2.1	BASEMENT/ FOUNDATION PLAN
A2.2	FIRST FLOOR PLAN
A2.3	FIRST FLOOR FRAMING PLAN
A2.4	ROOF FRAMING PLAN
A3.1	ELEVATIONS
A3.2	ELEVATIONS CONT.
A4.1	BUILDING SECTION
A4.2	SECTIONS & DETAILS
PROJECT DESCRIPTION	
NEW DUPLEX CONDO BUILDING WITH (2) 1,545 SQUARE FOOT UNITS. EACH WITH ATTACHED (2) CAR GARAGE AND WALK OUT FINISHED BASEMENT WITH GOLF CADDY ACCESS	



RENDERED ELEVATION

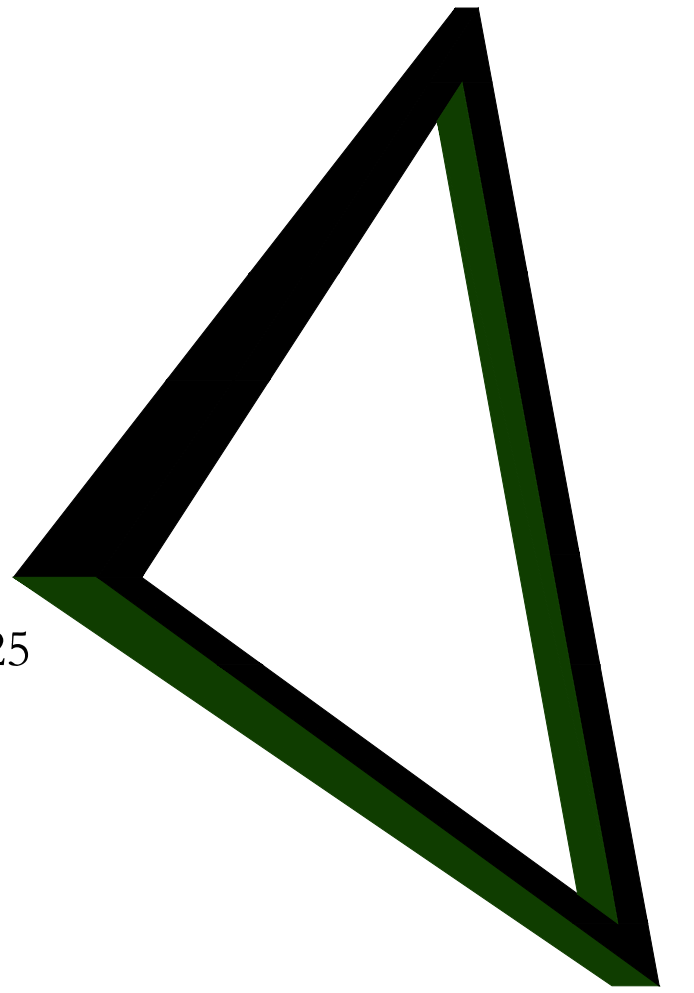
PROJECT LOCATION

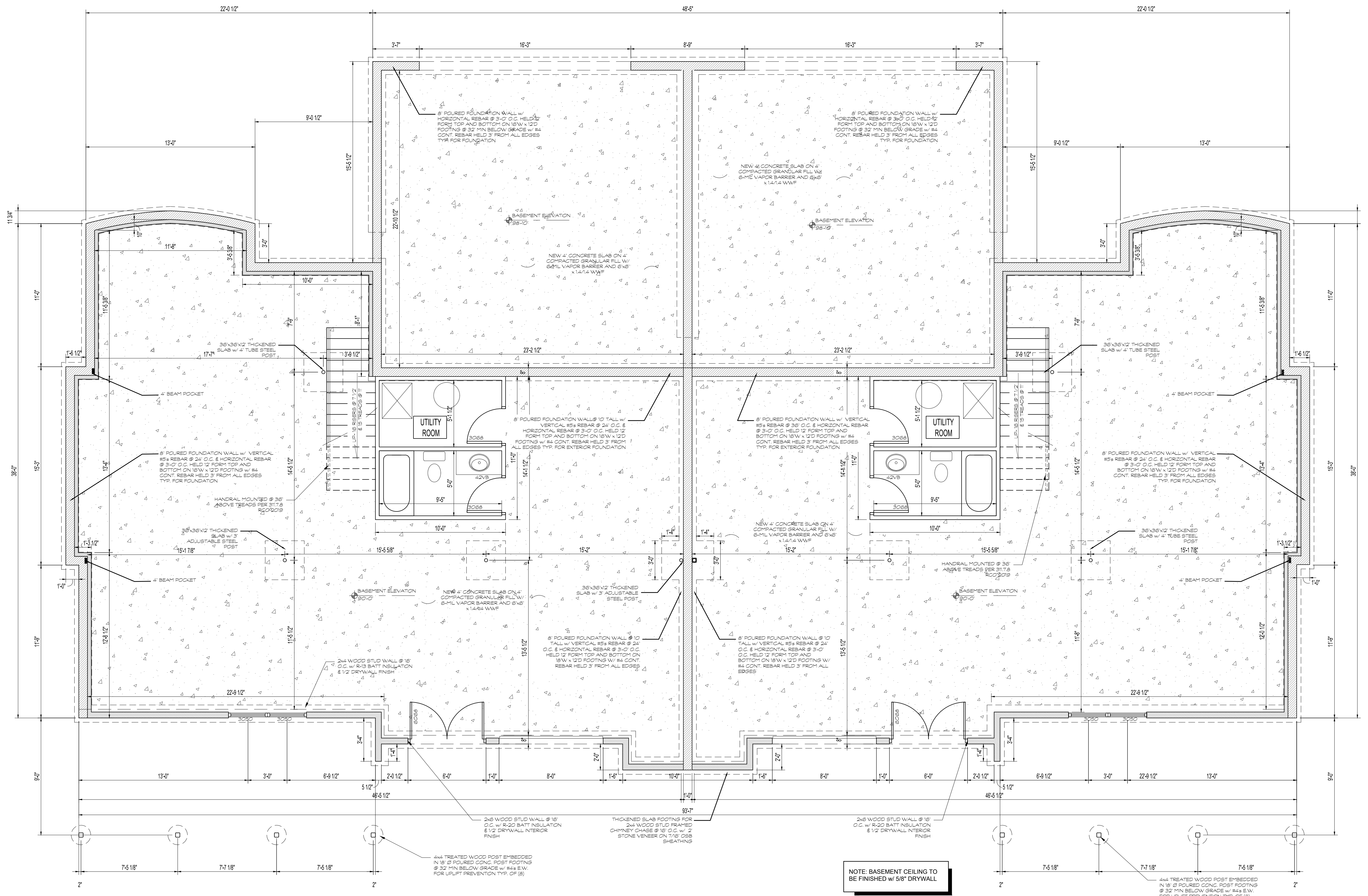
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Luke Baus - Principal Architect 149 E. Main St. - P.O. Box 1034 - Hebron, OH 43025
(740) 928-1105 (740) 928-1108 Fax



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NOTE: BASEMENT CEILING TO BE FINISHED W/ 5/8\"/>

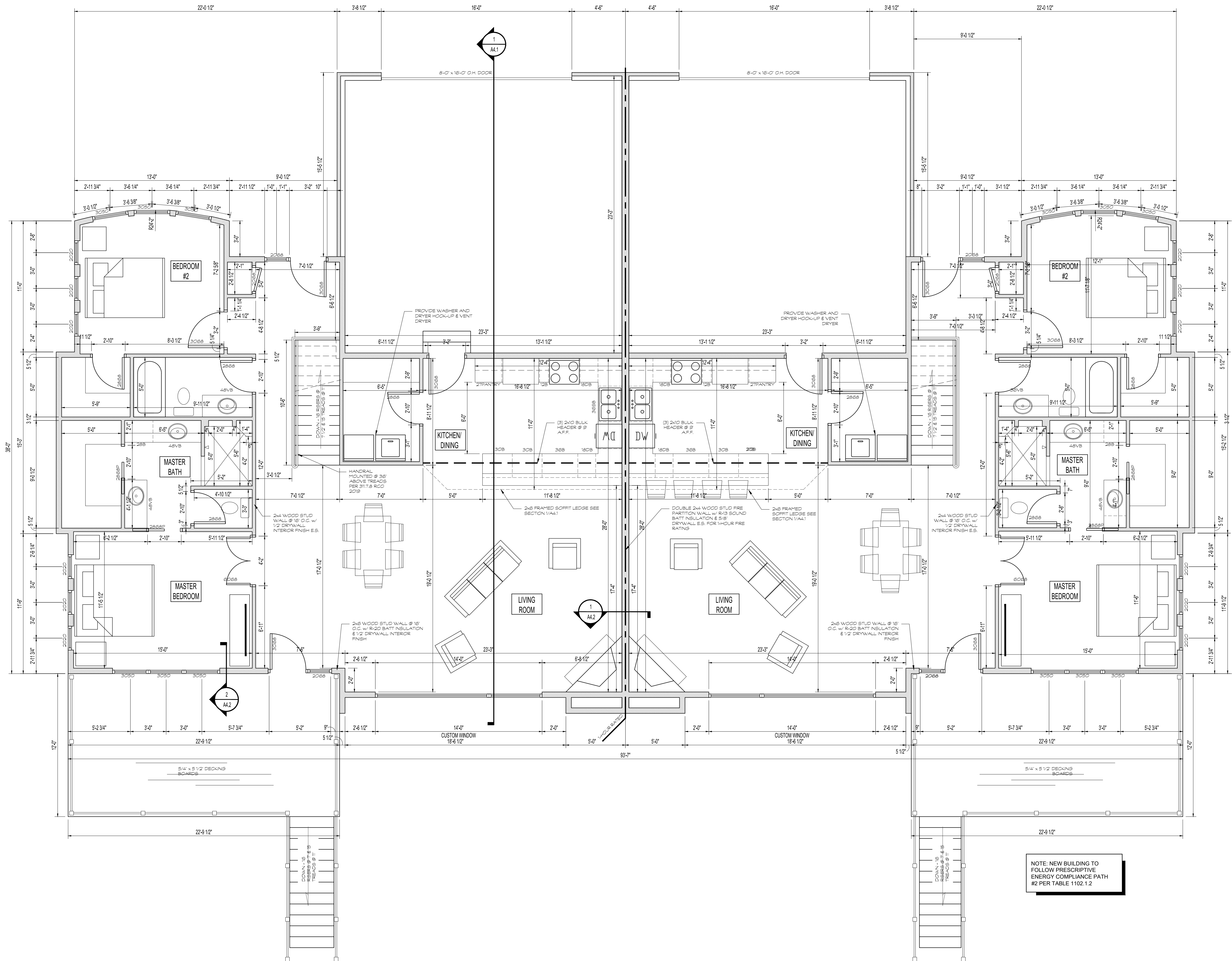
WALK-OUT BASEMENT FLOOR
1/4" = 1'-0"

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NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS & REPORT ANY DISCREPANCIES IMMEDIATELY TO ARCHITECT PRIOR TO START OF CONSTRUCTION. COST OF CORRECTION REQUIRED AS A RESULT OF CONTRACTOR'S NEGLIGENCE SHALL BE PAID BY CONTRACTOR. CONTRACTOR SHALL INSTALL ALL EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS, AND PER STATE AND LOCAL CODES.



FIRST FLOOR PLAN
1/4" = 1'-0"

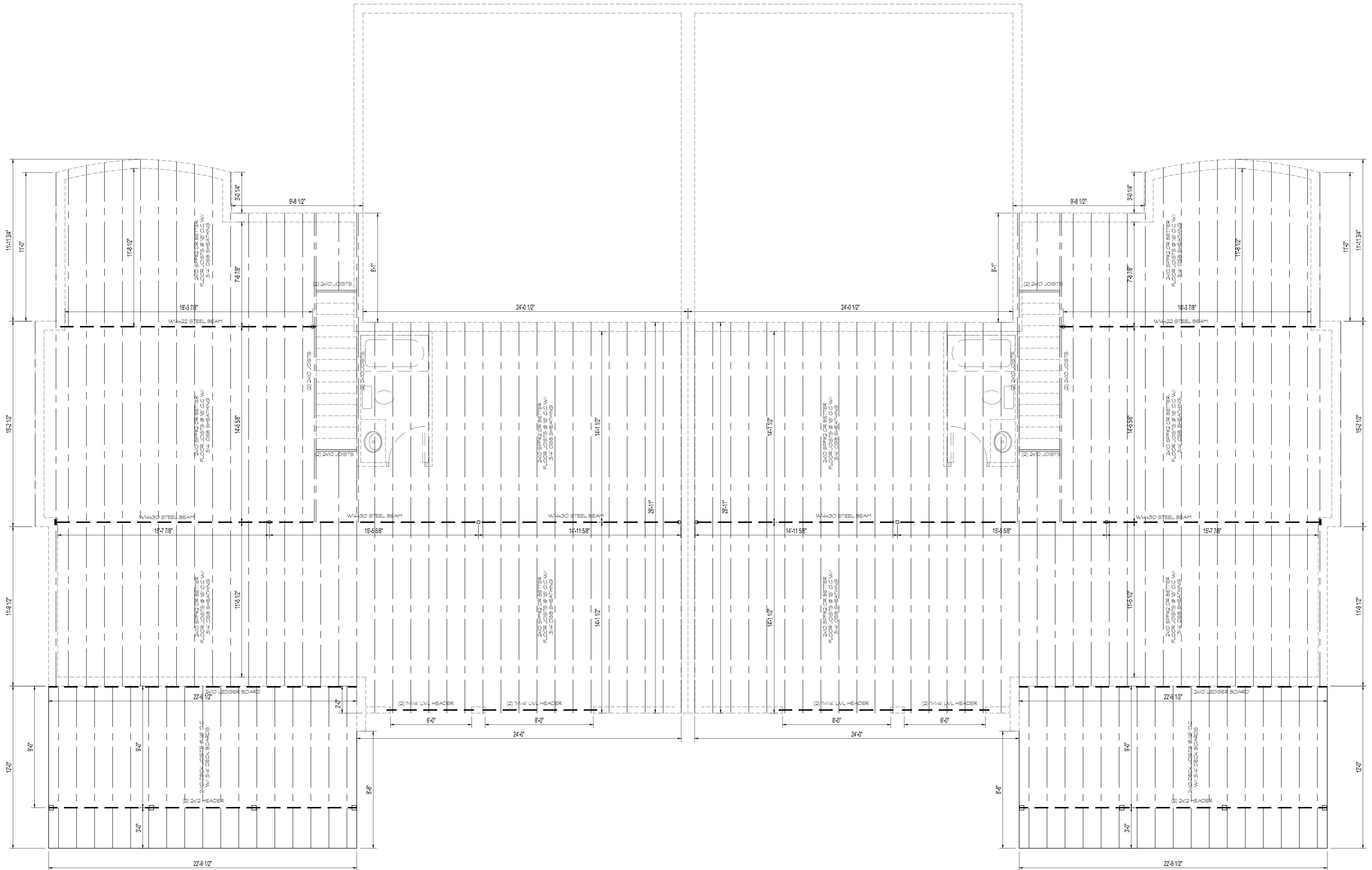
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FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"

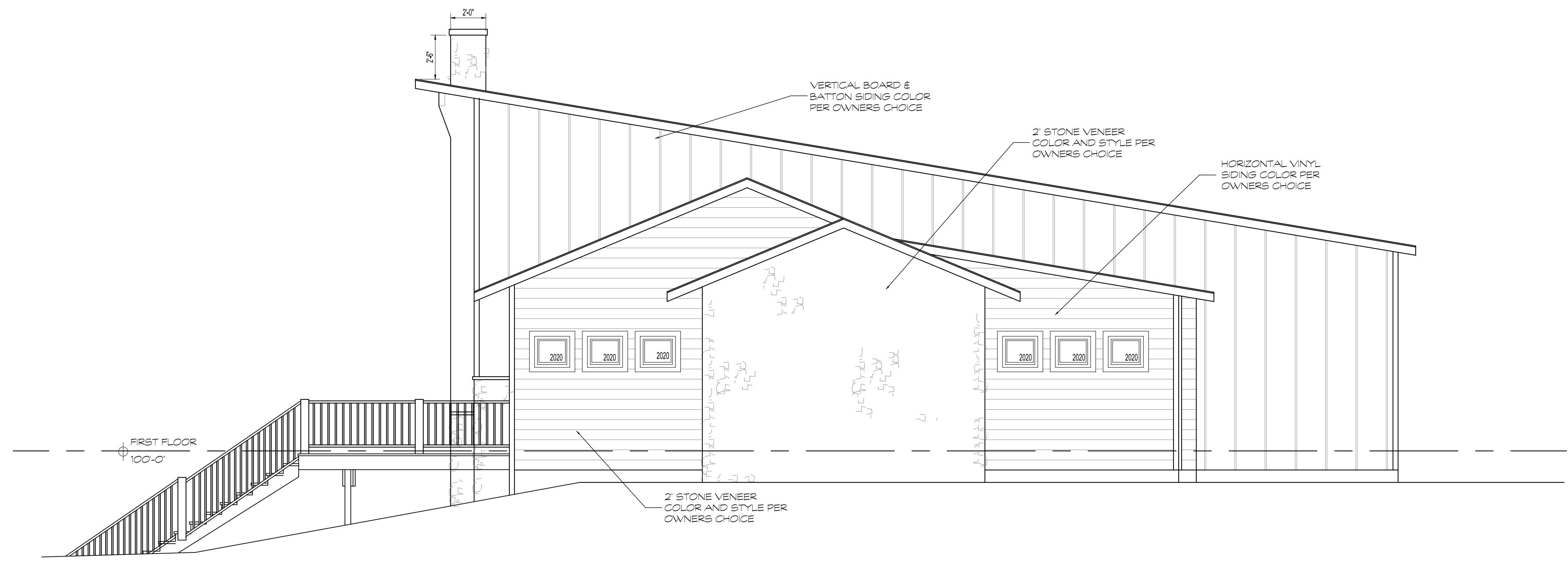


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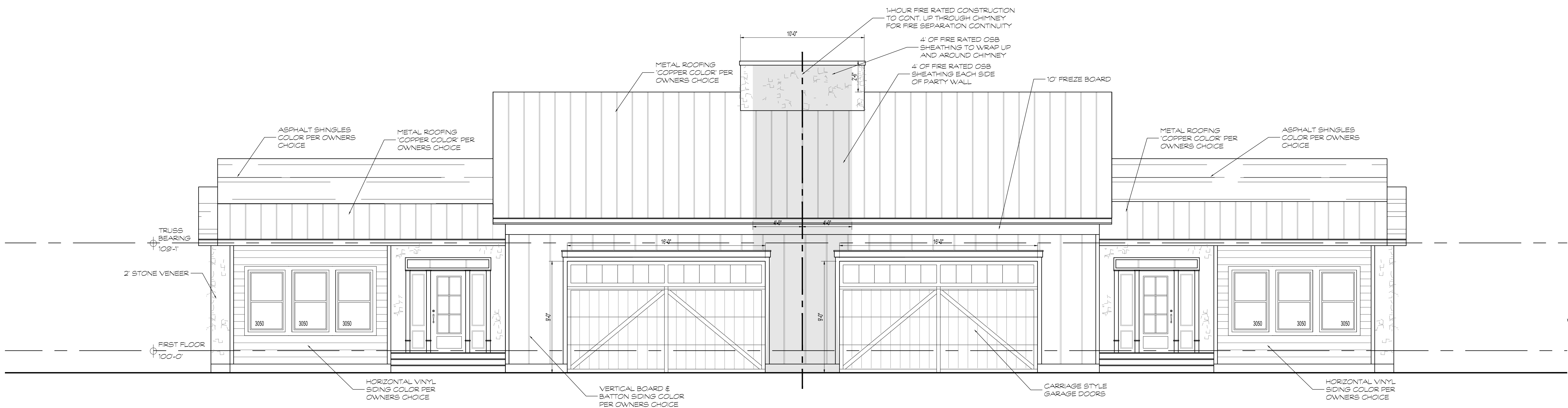
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LEFT ELEVATION 2
1/4" = 1'-0" A3.1



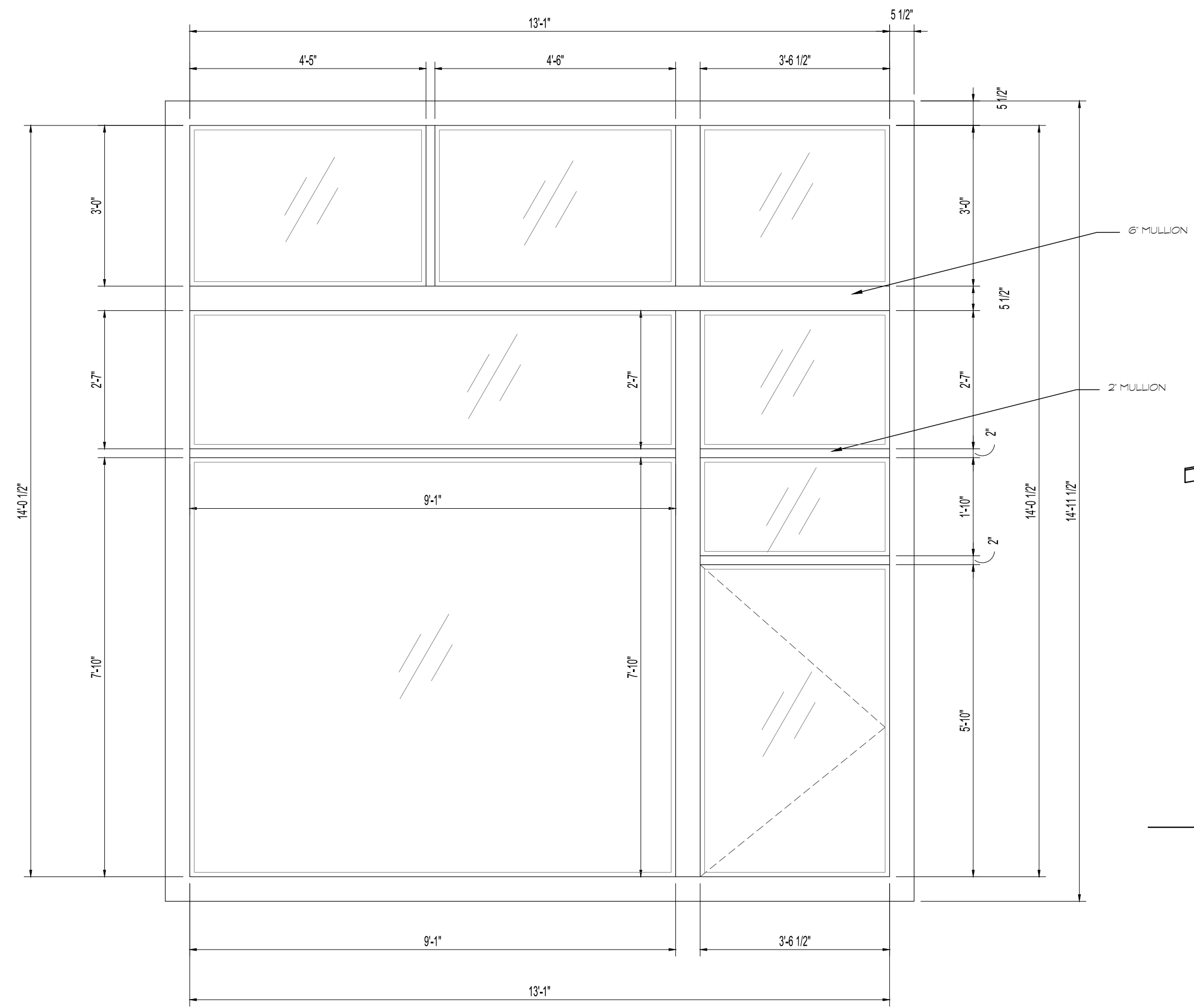
FRONT ELEVATION 1
1/4" = 1'-0" A3.1

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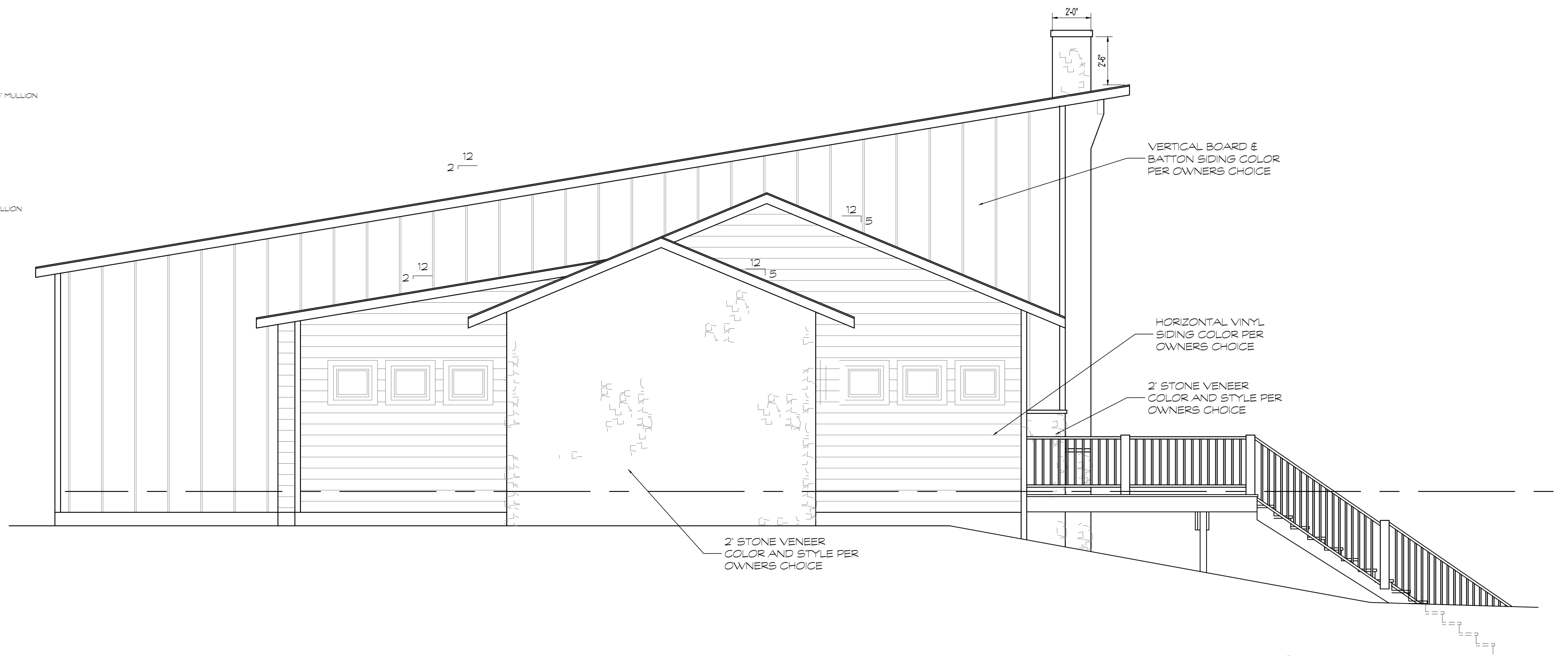
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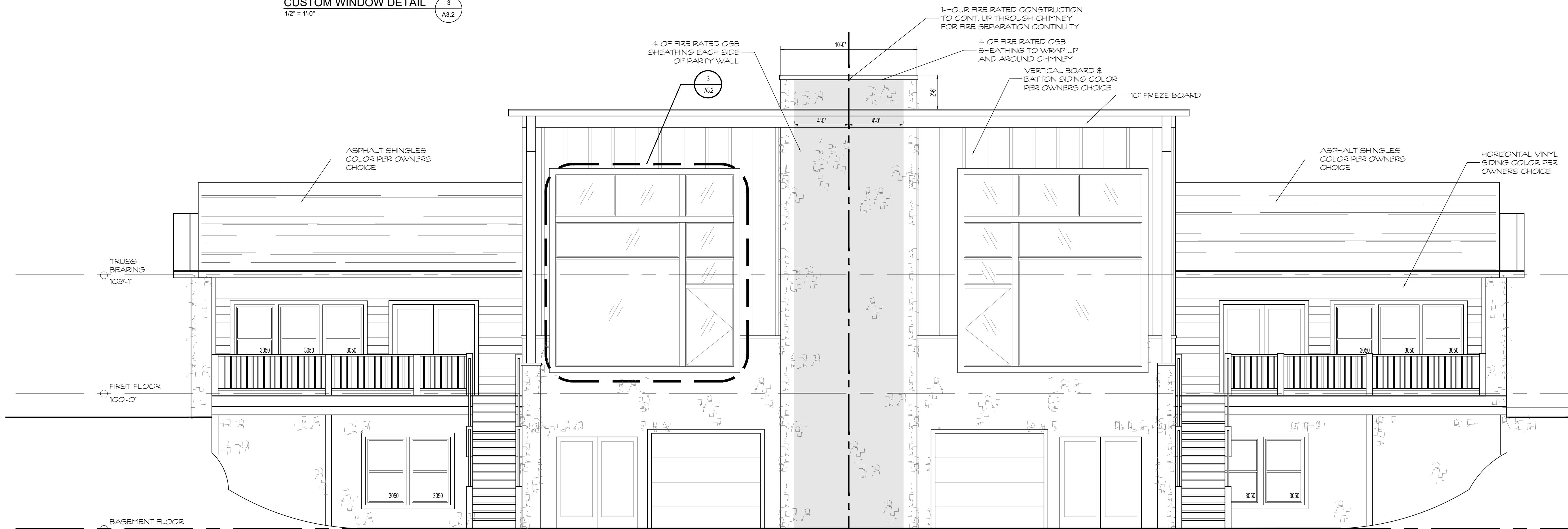
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CUSTOM WINDOW DETAIL 3
1/2" = 1'-0" A3.2



RIGHT ELEVATION 2
1/4" = 1'-0" A3.2



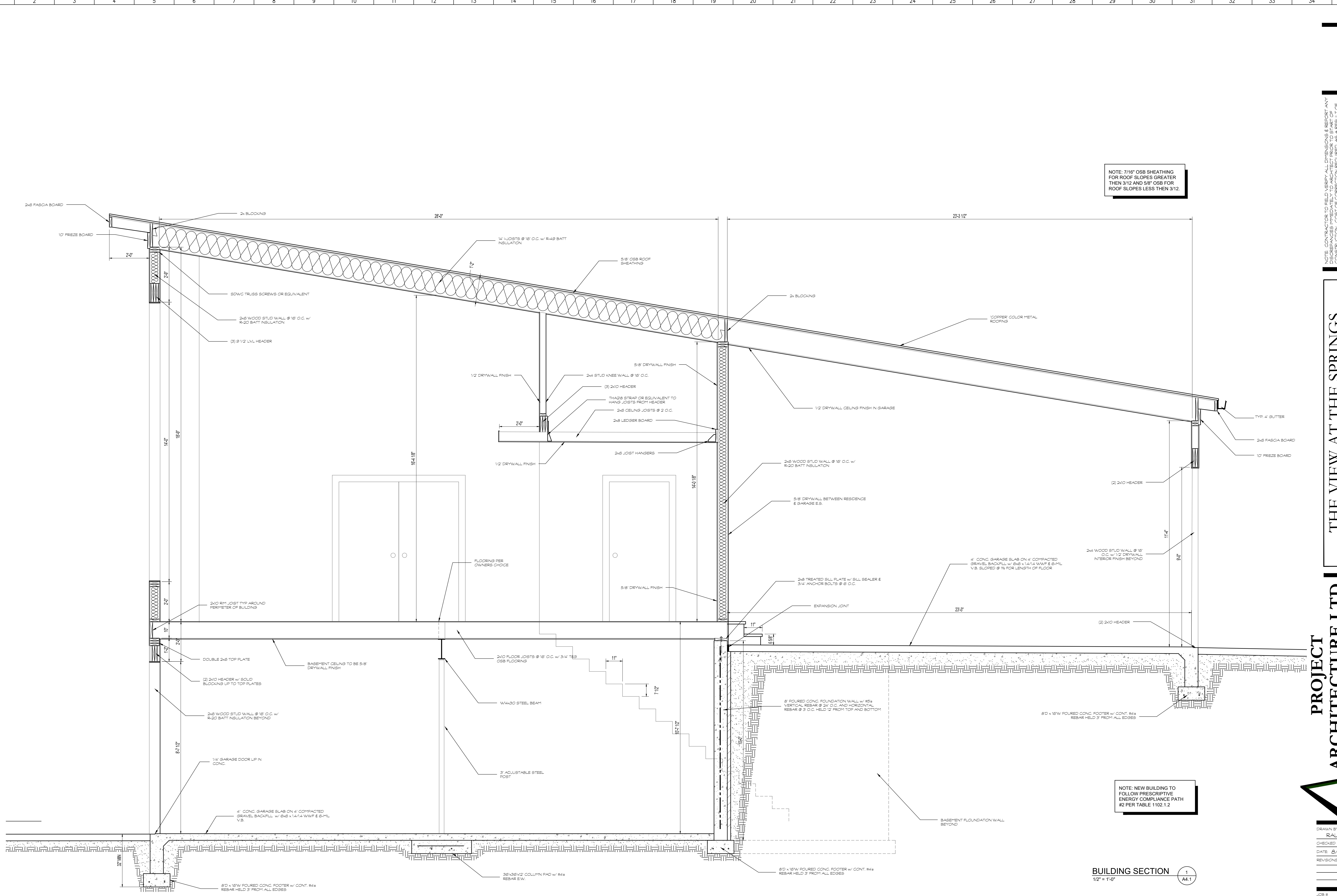
REAR ELEVATION 1
1/4" = 1'-0" A3.2

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NOTE: 7/16\"/>

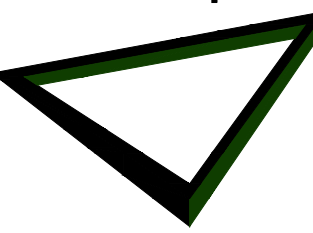
NOTE: NEW BUILDING TO FOLLOW PRESCRIPTIVE ENERGY COMPLIANCE PATH #2 PER TABLE 1102.1.2

BUILDING SECTION
1/2" = 1'-0"

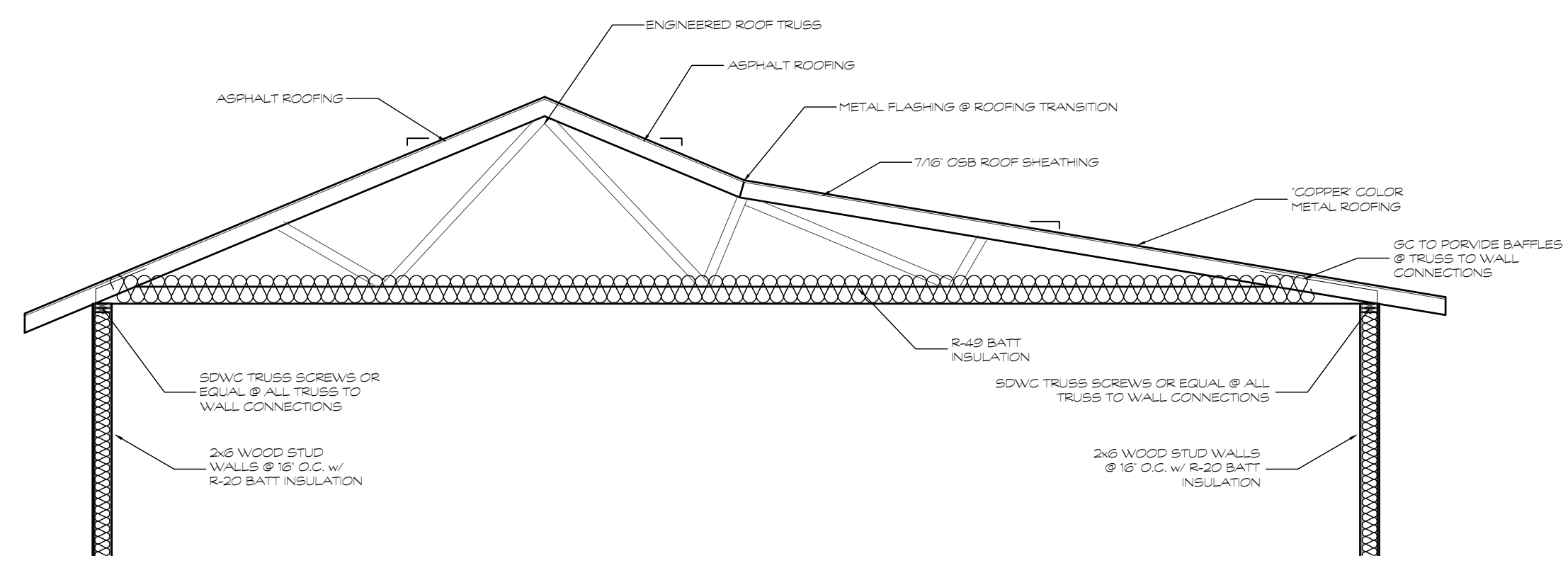
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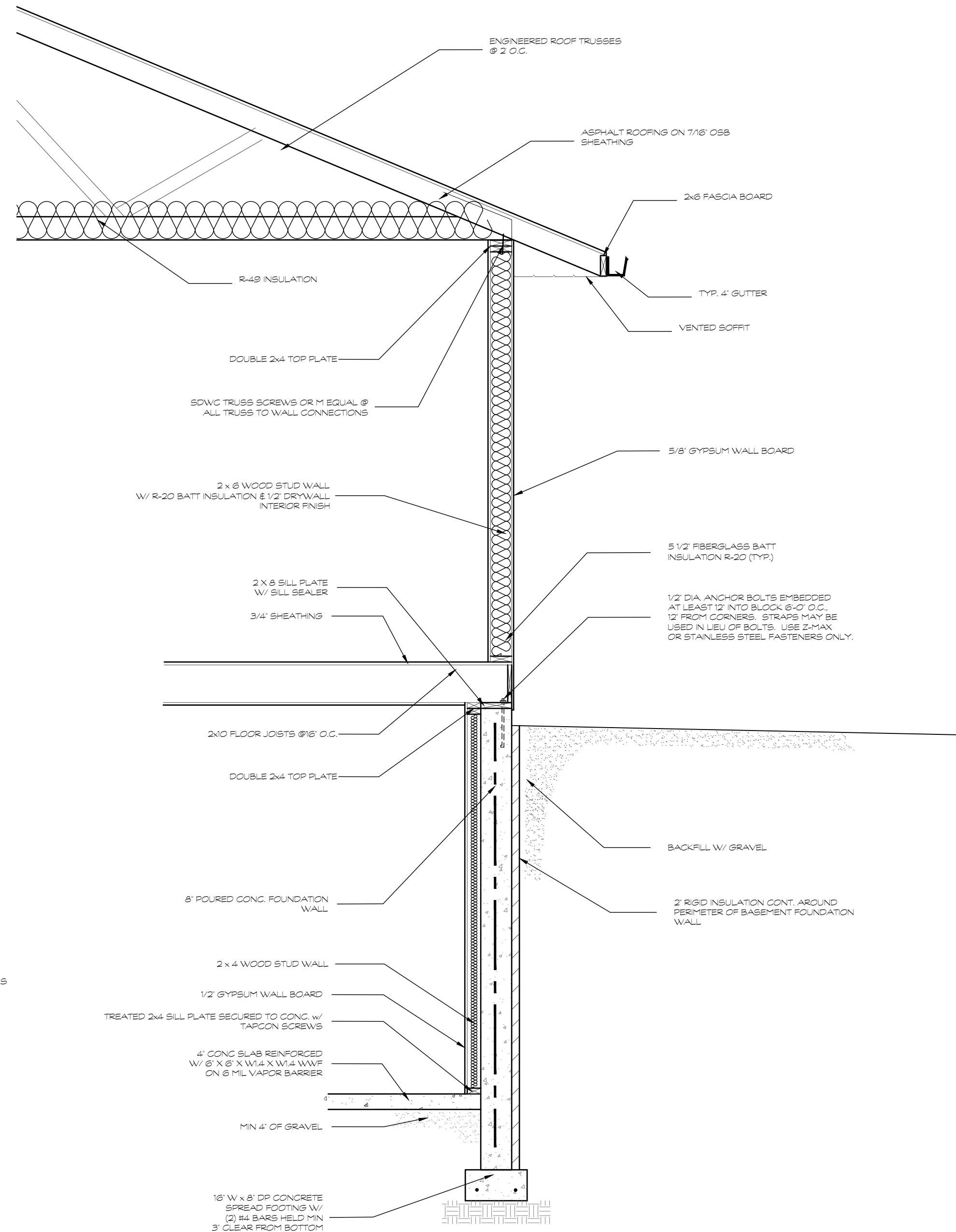
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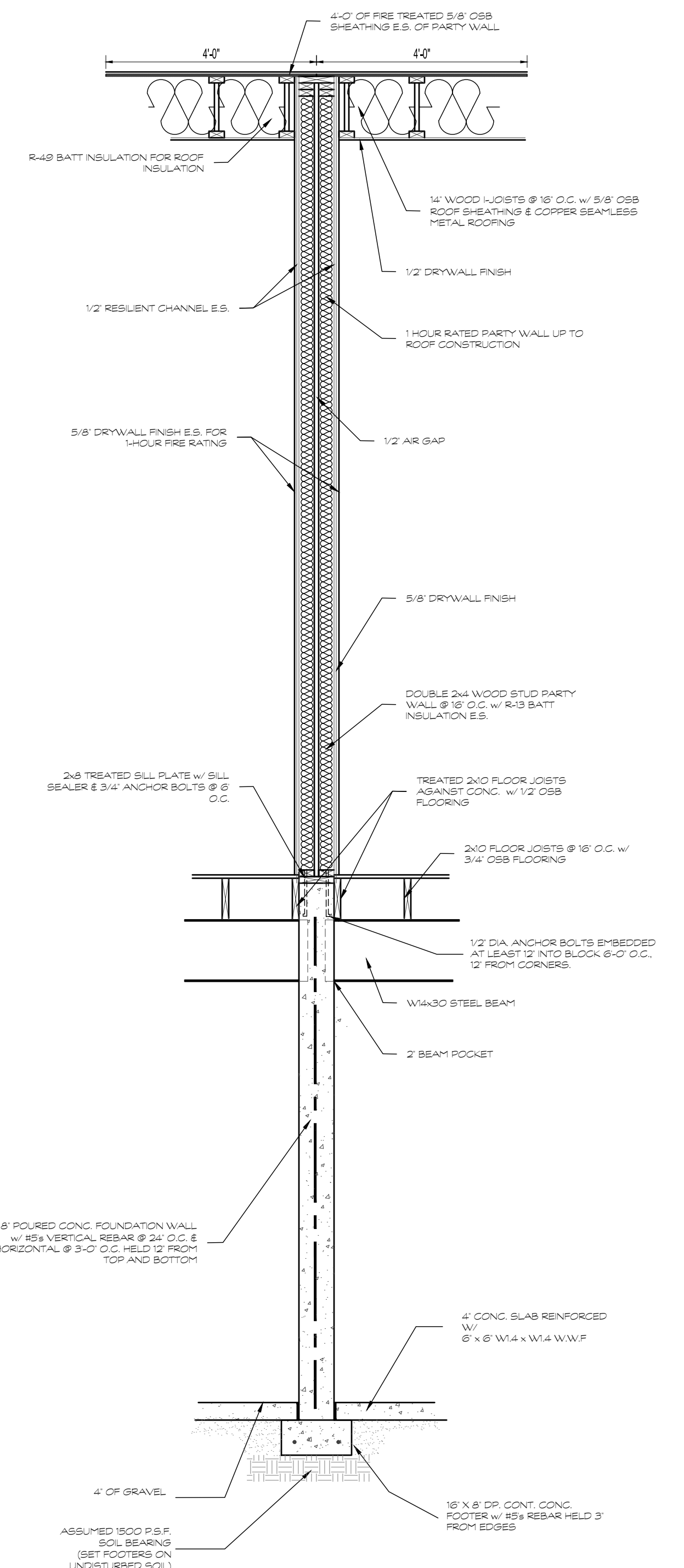
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TRUSS SECTION
1/4" = 1'-0"
3
A4.2



WALL FRAMING SECTION
1/2" = 1'-0"
2
A4.2



WALL FRAMING SECTION
1/2" = 1'-0"
1
A4.2

NOTE: NEW BUILDING TO FOLLOW PRESCRIPTIVE ENERGY COMPLIANCE PATH #2 PER TABLE 1102.1.2

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